

Amendment to Council Resolution No. 138 - 2010

**BY: Chairperson at the request
of the County Executive**

**Legislative Day No. 3
Date: March 7, 2011**

Amendment No. 1

(This amendment makes certain corrections to the Downtown-wide Downtown Columbia Design Guidelines including substituting certain exhibits for exhibits approved in CB 58-2009 .)

1 In the attachment:

2

3 1. Remove the cover and the page immediately following and substitute the revised pages as
4 attached to this amendment. (Corrects the name of the document to be consistent with the
5 defined term “Downtown-wide Design Guidelines”.)

6

7 2. Remove page 16 and substitute a revised page 16 as attached to this amendment. (Inserts a
8 caption under the diagram to read “*Illustrative Master Plan Diagram*”.)

9

10 3. Remove page 27 and substitute a new page 27 as attached to this amendment. (Substitutes the
11 Neighborhood Diagram.)

12

13 4. Remove page 28 and substitute a new page 28 as attached to this amendment. (Strikes
14 “Symphony Woods” and substitutes “Symphony Woods Park” in the “Character” column of the
15 chart.)

16

17 5. Remove page 30 and substitute new page 30 as attached to this amendment. (Substitutes the
18 Illustrative Plan of the Warfield Neighborhood.)

19

20 6. Remove page 32 and substitute new page 32 as attached to this amendment. (This
21 amendment:

22 a. Substitutes the Illustrative Plan of the Lakefront Neighborhood; and

23 b. Strikes “Symphony Woods” and substitutes “Symphony Woods Park” in the

1 third line of the first paragraph.)

2
3 7. Remove page 33 and substitute new page 33 as attached to this amendment. (Strikes the
4 picture originally on the bottom that contains the caption “Potential activities at the lakefront”.)

5
6 8. Remove page 34 and substitute new page 34 as attached to this amendment. (Substitutes the
7 Illustrative Plan of the Crescent Neighborhood in the top lefthand corner.)

8
9 9. Remove page 36 and substitute new page 36 as attached to this amendment. (This
10 amendment:

11 a. Substitutes the Illustrative Plan in the top lefthand corner; and

12 b. Strikes “Symphony Woods” and substitutes “Symphony Woods Park” in the fourth line
13 of the last paragraph.)

14
15 10. Remove page 38 and substitute new page 38 as attached to this amendment. (This
16 amendment:

17 a. Substitutes the Illustrative Plan in the top lefthand corner; and

18 b. In the second paragraph that begins “Merriweather-Symphony Woods”, in the second
19 line, after “for” insert “parkland.”.)

20
21 11. Remove page 40 and substitute new page 40 as attached to this amendment. (Substitutes the
22 Illustrative Plan of The Mall Neighborhood.)

23
24 12. Remove page 43 and substitute new page 43 as attached to this amendment. (Substitutes the
25 Illustrative Street Framework Diagram.)

26
27 13. Remove page 44 and substitute new page 44 as attached to this amendment. (Substitutes the
28 Street Framework Diagram.)

29
30 14. Remove page 49 and substitute new page 49 as attached to this amendment. (In the
31 paragraph marked “A” under the section titled “Sidewalks”, in the third sentence, strike “except

1 Parkway”.)

2

3 15. Remove page 62 and substitute a new page 62 as attached to this amendment. (This
4 amendment strikes “Symphony Woods” and substitutes “Symphony Woods Park” in the
5 following instances:

- 6 a. In the third line of the first paragraph; and
- 7 b. In the first line of the fourth paragraph.)

8

9 16. Remove page 65 and substitute new page 65 as attached to this amendment. (Substitutes the
10 Primary Amenity Space Framework Design.)

11

12 17. Remove page 66 and substitute a new page 66 as attached to this Amendment. (This
13 amendment strikes “Symphony Woods” and substitutes “Symphony Woods Park” in the
14 following instances in the last paragraph:

- 15 a. In the first through second line; and
- 16 b. In the fifth line.)

17

18 18. Remove page 67 and substitute new page 67 as attached to this amendment. (This
19 amendment:

- 20 a. Substitutes the Amenity Space Graphic on the left side of the page;
- 21 b. In item “C.” that begins “Enhanced circulation”, after “other”, inserts “events in
22 Symphony Woods Park. Access through Symphony Woods Park will be designed so
23 there is connectivity between Merriweather and Symphony Woods Park.”;
- 24 c. Strikes “Symphony Woods” and substitutes “Symphony Woods Park” in the following
25 instances
 - 26 i. In the first paragraph:
 - 27 (a) In the first line;
 - 28 (b) In the third line; and
 - 29 (c) Twice in the third sentence;
 - 30 ii. In the third line of the second paragraph; and
 - 31 iii. In the third to fourth lines of the third paragraph.)

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19. Remove page 68 and substitute a new page 68 as attached to this amendment. (Strikes “Symphony Woods” and substitutes “Symphony Woods Park” in the first to second line of the last paragraph.)

20. Remove page 69 and substitute new page 69 as attached to this amendment. (Substitutes the diagram that encompasses the entire left side of the page and removes the image originally at the top, right-hand corner of the page.)

21. Remove page 73 and substitute a new page 73 as attached to this amendment. (Strikes “Symphony Woods” and substitutes “Symphony Woods Park” in the second line of the last paragraph.)

22. Remove page 76 and substitute a new page 76 as attached to this amendment. (Strikes “Symphony Woods” and substitutes “Symphony Woods Park” in the second line of the second paragraph.)

23. Remove page 79 and substitute new page 79 as attached to this amendment. (Substitutes the Maximum Building Height Plan.)

24. Remove page 98 and substitute a new page 98 as attached to this amendment. (Strikes “Symphony Woods” and substitutes “Symphony Woods Park” under item 1.1 “Sense of Place”, in the first bullet under “Strategy”.)

25. Remove page 113 and substitute new page 113 as attached to this amendment. (Inserts a caption above the map that reads “This plan was created prior to adoption of CB 58-2009, may not reflect the actual roadway network or neighborhood configurations identified in the final legislation.”).

26. Remove page 2 of Appendix 2 and substitute new page 2 of Appendix 2 as attached to this amendment. (Substitutes the Bicycle and Pedestrian Circulation Plan.)



Downtown Columbia: Downtown-wide Design Guidelines

Downtown Columbia: Downtown-wide Design Guidelines

March 2011





Illustrative Master Plan Diagram

THE DOWNTOWN COLUMBIA PLAN

Columbia has an active and engaged community that was born out of the progressive urban planning ideas of its founder, the late Jim Rouse.

Rouse hoped to make Columbia a new kind of American community that would, through rational planning, avoid the problems associated with the decay that was settling upon America's big cities and the unplanned and often unsightly sprawl that marked its ever-burgeoning suburbs. Though in part motivated by social concerns, Rouse also was a successful business man who knew that Columbia had to be profitable if it was to survive and thrive.

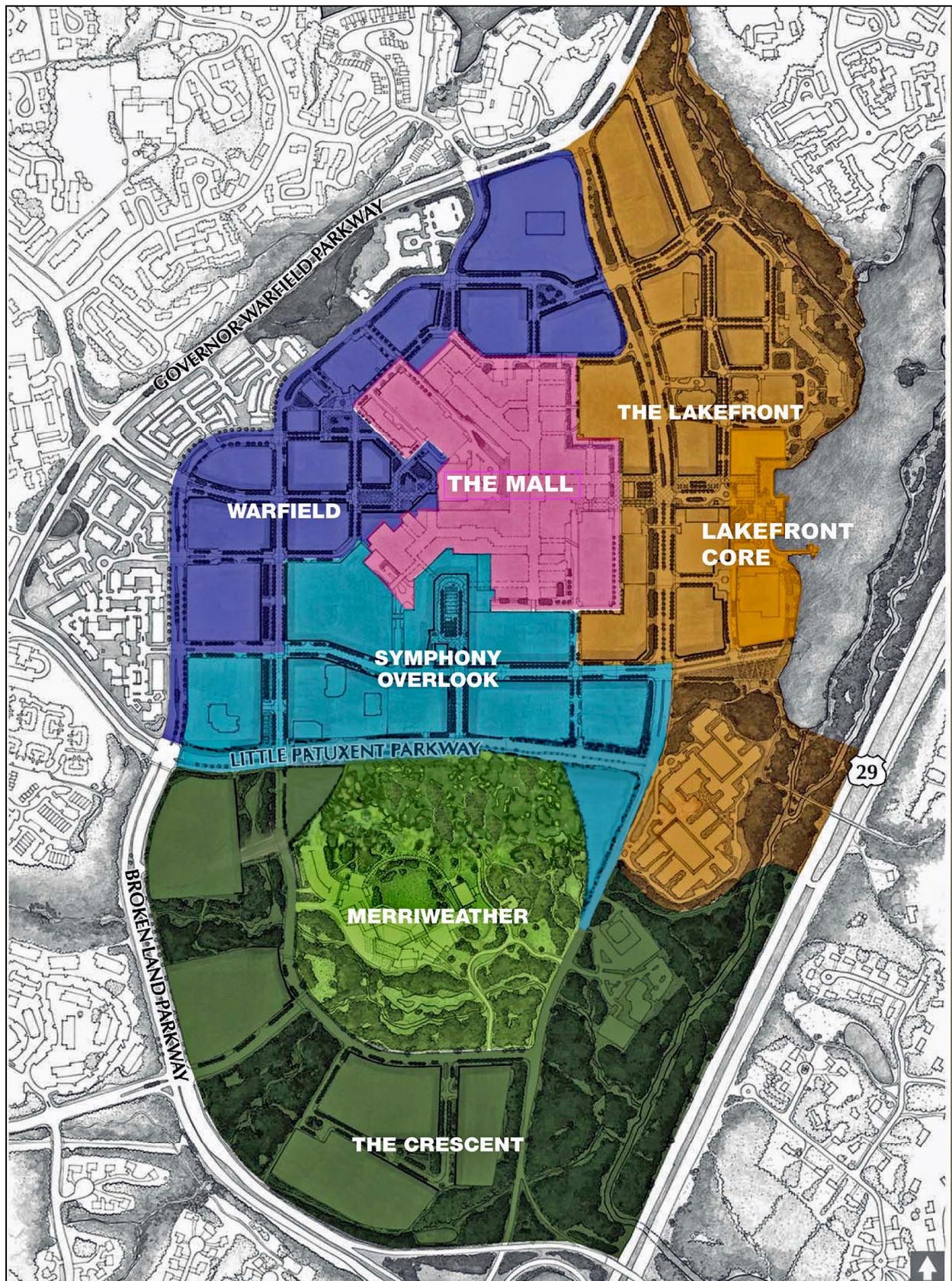
Almost since Columbia's founding, its residents and officials have debated how to improve its downtown core. In October 2005, residents gathered with Columbia and Howard County government officials for a week-long series of public meetings called a "charrette."

The meetings were designed to listen to the thoughts of the community on how Downtown Columbia should be redeveloped over the next 30 years and from the input, to develop a master plan to guide downtown's continued evolution as the County's economic and cultural center.

The consensus of those meetings was that Downtown Columbia should become more vibrant and relevant to Columbia's residents and that these goals could be achieved by increasing the number of people living downtown and by adding more residences, shops and recreational and cultural amenities to Downtown Columbia, while also making downtown more attractive and easier for pedestrians to navigate.

As a result of the charrette, County officials, with the assistance of residents and planning consultants, released a preliminary draft master plan in February of 2006 that proposed new residential, office, retail and cultural development downtown, along with re-configured road and pedestrian networks. A community-based task force was formed by the County to provide feedback. They met between February and September of 2006 and provided feedback that the County utilized in the writing of their subsequent vision plan.

NEIGHBORHOOD DIAGRAM



SUMMARY MATRIX OF NEIGHBORHOOD GUIDELINES

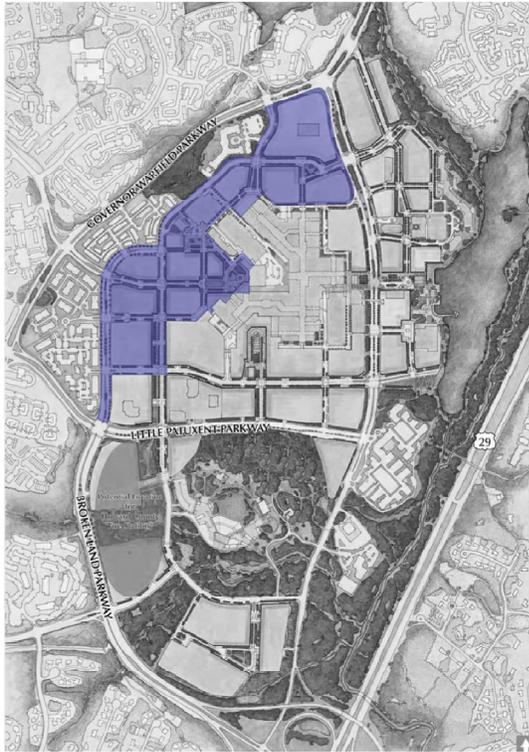
NEIGHBORHOOD	CHARACTER
Warfield	Urban residential, mixed-use, family oriented, light commercial in core areas, greater commercial elsewhere
The Lakefront and Lakefront Core	Modestly scaled mixed-use neighborhood, oriented to water and lakefront plaza with accessible open space at the lakefront.
The Crescent	Urban live/work neighborhood overlooking Merriweather and Symphony Woods
Merriweather—Symphony Woods	Arts, cultural, civic and ancillary retail and food uses set within Symphony Woods Park and Merriweather
Symphony Overlook	Primary Commercial center with retail, hotel, office and residential connecting to the park and Lakefront
The Mall	Commercial center with primary retail use and supporting complimentary uses

Note: Building heights can vary by building within each Neighborhood from the minimum to the maximum as outlined in the Maximum Building Height Plan (Exhibit F, Downtown Columbia Plan).

These recommendations are provided to help achieve the goals of the Plan. Any departure from the Plan will be reviewed by the Department of Planning and Zoning and the Planning Board based on the following hierarchy of priorities, where flexibility increases as priority ranking decreases:

1. Neighborhood Character: Each neighborhood character will develop over time yet, it is important that this character is consistent with the Downtown Columbia Plan and Design Guidelines.
2. Street Network and Streetscape Character: The proposed street framework, with additional connections to existing roads, is needed to disperse traffic and ease congestion on Downtown Columbia streets and to create a safer active pedestrian environment. The exact location of the roads and connections can vary from the Street and Block Plan, however the basic framework and diversity of street connections and pedestrian-oriented streetscape enhancements should be provided.

WARFIELD—A Traditional Mixed-Use Neighborhood for Families



Illustrative Plan of the Warfield Neighborhood



Warfield is envisioned to have pedestrian-oriented streets with retail and restaurants at street level with residential on upper floors. Sidewalks in some areas have outdoor dining.



Illustrative of residential street in the Warfield Neighborhood

Location: Warfield is east of Governor Warfield Parkway and west to northwest of The Mall in Columbia.

Warfield is a traditional urban mixed-use neighborhood for families. The development of this area should be compatible with adjacent residential and retail uses. The neighborhood is characterized by buildings with up to 9 stories. Streets and sidewalks are expected to be active with both residents as well as shoppers. Parking will be provided both on street and in garages. The sidewalks, parks, plazas, playgrounds and other Amenity Spaces in this distinctly urban residential neighborhood are Warfield’s shared outdoor spaces where children play and neighbors meet and socialize.

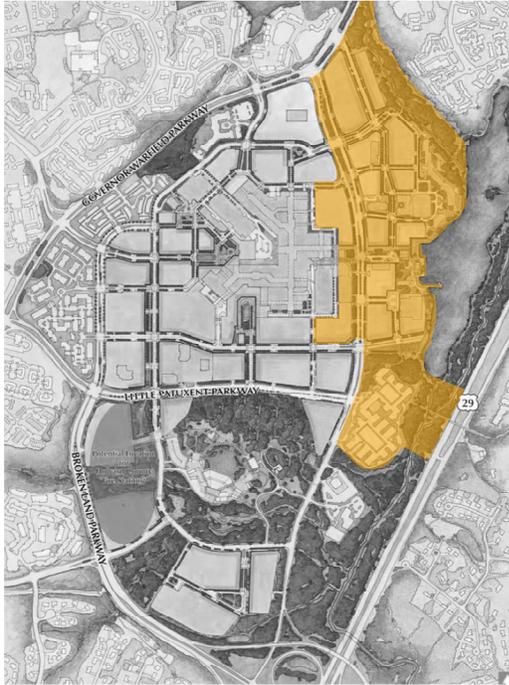
The Warfield neighborhood is organized around a series of Amenity Spaces including plazas, greens and promenades. An east/west corridor consisting of streets and promenades will connect the Warfield Parkway entrance to the Mall, continuing on the east side to the Lakefront; creating a cross-town walking route that can become one of Columbia’s most desirable features.

Warfield Plaza incorporates the existing plaza at the entry to the Mall, expanding it with additional green space to make it the focus of the neighborhood. Water and sculpture could be used to mark this location where streets and urban spaces connect to the Mall entry. The Plaza is at a crossroads of pedestrian circulation, helping make it an active urban place, and it also serves as a daytime and evening gathering space for programmed and impromptu activities.

Warfield Square is another important gathering space that is active into the evening hours, adjacent to restaurants and a cinema. Warfield Plaza and Warfield Square are connected by a retail-lined street. Sight lines between these Amenity Spaces should be exploited by locating rainwater treatment features and/or sculpture where visual connections can be enhanced between these major urban spaces. Other small green respites and recreation spaces in Warfield should be focal points that serve the residential population of the neighborhood.

With few existing buildings in Warfield, new mixed-use development should be planned in a coordinated way with relationships drawn between buildings framing streets and amenities. For example, a consistent setback or cornice line at the upper floors should be considered as a way to visually connect buildings between blocks. Likewise, visual connections can be drawn between retail at street level from block to block. With residential the dominant use above street level, there should be a similar scale and pattern of openings (windows) in these buildings. There should be a family of compatible materials and colors that are appropriate for a neighborhood of primarily residential buildings above ground level commercial uses.

THE LAKEFRONT AND LAKEFRONT CORE—*Bringing Community Life Back to the Water's Edge*



Illustrative plan of the Lakefront Neighborhood



The connection from Symphony Overlook to The Lakefront is a park that descends with slopes and terraces to the natural wetland planting at the lake edge



The connection from the Mall to the Lakefront that descends with terraces to the Lakefront Plaza

Location: The Lakefront is located from the western edge of Lake Kittamaqundi westward to the Mall and from Little Patuxent Parkway on the north to Symphony Woods Park and Merriweather on the south.

The Lakefront is intended to bring community life back to the water's edge. The Lakefront Core should be a lively, walkable neighborhood connected and oriented to Lake Kittamaqundi. The objective is to make The Lakefront a lively, walkable neighborhood, connected and oriented to Lake Kittamaqundi. At the north end of this waterfront neighborhood, there will be a modestly-scaled primarily residential and hotel community along a redesigned Wincopin Street, lined with trees and fronted with mid-rise residential and some office buildings.

The central Lakefront area at the existing fountain is an important, symbolic gathering space in Columbia. Iconic sculptures such as the People Tree and The Hug are landmarks in the community. This area has been the setting for community gatherings since the founding of Columbia. This culturally significant landscape should retain its purpose as a central gathering place and amenity area but also be revitalized. It should also be enlivened and enhanced with new development including retail, restaurant, office, residential and hospitality uses that bring people to this part of Columbia.

Revitalization of this noteworthy neighborhood should include updating and expanding the existing amenities and landscape to encourage more active use on a regular basis as a community asset, as well as a setting for performances, festivals and other events.

Open space corridors extending east to west will link the Lakefront to other Downtown Columbia destinations. The Mall will be connected to the central Lakefront area by a series of terraces that descend down the slope to the water with surrounding retail, residential and office space.

The Symphony Overlook neighborhood will be linked to Lake Kittamaqundi by extending a major east/west retail street to a green park that slopes and terraces down to the water's edge. To the north, a pedestrian promenade extends from the Warfield neighborhood to the natural area north of Lake Kittamaqundi. To facilitate and encourage pedestrian connectivity, Little Patuxent Parkway will be transformed into a more pedestrian-friendly street with sidewalks, crosswalks and signal timing for pedestrians to encourage walking and cycling between adjacent neighborhoods.

BUILDING HEIGHT

The core, which includes parcels adjacent to the lake and immediately north and south of the lakefront open spaces: maximum 9 stories, not to exceed 120 feet in height, minimum 2 stories or no less than 30' in height. Outside Core Area: maximum 20 stories, not to exceed 250 feet in height.

FRONTAGE COVERAGE

Upon completion of a block, building facades shall constitute 80% to 100% of block length (sum of building lengths divided by block length) and may consist of several buildings. Amenity Spaces are excluded from calculation of building frontage from block length is measured between streets (not including Alleys) or stream buffer. Required setbacks may be subtracted from the block length.

BUILD-TO-LINE

Between ten and twenty-five feet from edge of curb to building face, unless public Amenity Space is located between street and building. No minimum required setback from street. See Section 5 for minimum sidewalk widths.

BUILDING SEPARATIONS/SIDE SETBACKS

The separation between buildings will vary, but should be sufficient to allow for pedestrian or vehicular access, where appropriate. A separation of 25 to 40 feet should be provided if an Alley or Driveway is located between buildings.

BLOCK AND BUILDING STANDARDS

Block Length: Maximum length 600 feet, average length 350 feet or less. Block lengths are expected to vary within neighborhoods. Long blocks (400 feet or greater) should have a pedestrian way, Alley, or Driveway that provides through access to another street or to mid-block parking garages.



The Lakefront is a symbolic area of Columbia. Improvements to the Lakefront are encourage to create more activity.



Example of seating as an integrated landscape element

THE CRESCENT — *Where New Urban Settings Face an Extensive Wooded Park*



Illustrative plan of the Crescent Neighborhood

Location: The Crescent neighborhood is located east of Broken Land Parkway, south of Little Patuxent Parkway, west of South Entrance Road, and south of the Merriweather-Symphony Woods neighborhood.

The Crescent is a neighborhood characterized by urban development overlooking a wooded park. Development parcels are located on high ground between the tributaries of the Little Patuxent.

These stream corridors should be preserved and enhanced natural areas that connect to the larger network of Amenity Spaces, and are tributaries to Symphony Stream and the Little Patuxent River. The goal is to create a new mixed-use neighborhood set within the context of restored and enhanced woodlands.

The Crescent location allows for easy local and regional access, and thus it's well suited as a higher density residential and office neighborhood that also includes some shops, restaurants, and possible hospitality uses. The Crescent can become a major live-work location as well as an employment center for those in the surrounding villages.

Higher elevations in this part of Downtown Columbia will provide good visibility and buildings ranging in height up to 20 stories will frame the Merriweather-Symphony Woods neighborhood in a distinctive curving arc. A new street between The Crescent and Merriweather-Symphony Woods will provide a prominent address and entry for these buildings. This curving street with sidewalks along building fronts and paths along the edge of the green space will connect The Crescent north to Symphony Overlook. Paths will also connect The Crescent to Merriweather-Symphony Woods, which allows parking built for office uses to be shared by patrons of Merriweather Post Pavilion.



Illustrative images of a plaza in the Crescent Neighborhood



SYMPHONY OVERLOOK— *Where the New Downtown Meets Culture in the Park*



Illustrative plan and images of Symphony Overlook

Location: Symphony Overlook is north of Little Patuxent Parkway and south of the Mall.

Symphony Overlook connects the Mall to the cultural uses in the Merriweather-Symphony Woods neighborhood. It is a crossroads of activity where a vibrant mix of retail, office, hotel/convention and some residential uses would be appropriate on two walkable urban streets lined with retail at street level. One is west-to-east connecting Warfield to The Lakefront. The other key street is north-to-south connecting the Mall to Merriweather-Symphony Woods. These two streets intersect at Market Square.

Market Square is a multifunctional programmed urban plaza that changes with the seasons and with events staged in the space. An overhead structural frame could at times, especially in summer, contain an interactive fountain with water falling onto the plaza. On other occasions, the frame could support a fabric canopy to shade a market, fair, or concert event. It could also shelter an ice skating sheet in winter.

The pavilion is a signature building in the plaza. Rainwater storage and treatment systems will be incorporated into the design of the supply sources for planting irrigation and water feature use.



Structured parking in this neighborhood could provide shared parking for the Mall, the new uses in the neighborhood, and during the weekend and evenings, for the Merriweather Post Pavilion and Symphony Woods Park when concerts, activities, and festivals are staged.



MERRIWEATHER- SYMPHONY WOODS — *A Strengthened Tradition in a New Kind of Cultural Park*



Illustrative plan of Merriweather-Symphony Woods Neighborhood



Adaptive Use potential for the Barns

Location: Merriweather-Symphony Woods is south of Little Patuxent Parkway between The Crescent and Symphony Overlook

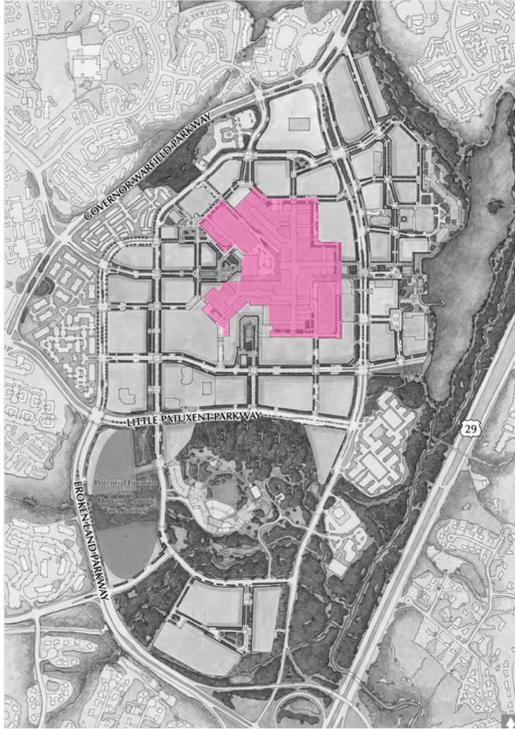
Merriweather-Symphony Woods is a new kind of cultural park where the landscape is a setting for parkland, arts, cultural and civic uses.

This neighborhood is anchored by an enhanced Merriweather Post Pavilion which will have significantly improved facilities while preserving the ambience in the wooded landscape and Symphony Woods Park. The Merriweather portion of this neighborhood is envisioned as a Downtown Arts and Entertainment District area that could also include uses such as a children’s theatre.

The vision for Symphony Woods Park is as an attractive setting for passive recreation and community events. Park facilities will be designed to invite people to enjoy the woods and will create a gateway to Merriweather Post Pavilion. For the first time, the park will become an important asset and destination and will be used year round.

Merriweather-Symphony Woods will have extensive vegetation consisting of preserved existing trees, forest restoration and reforestation. It will be designed for enhanced community use including a new system of paths and infra- structure and park facilities to support festivals and other events in the park. Natural areas to the south will be improved by removing invasive species and restoring stream corridors with native vegetation.

Merriweather-Symphony Woods is connected to the heart of Symphony Overlook along a north/south axis drawn from Market Square to the park.

THE MALL - *Where the community gathers to shop, eat and be entertained.**Illustrative plan of The Mall Neighborhood*

Location: *Centered between Warfield, Symphony Overlook and the Lakefront neighborhoods.*

The Mall in Columbia is currently a successful regional center with five department stores, a movie theatre and a diverse collection of restaurants. To enhance the economic strength of the Mall and as a response to increased competition, special attention is given to the Mall in this Plan by placing the Mall in its own neighborhood.

Any redevelopment of the Mall must comply with the Design Guidelines for the Mall Neighborhood.

Through the Design Guidelines, any redevelopment of the Mall will provide amenities including but not be limited to, improvements to underutilized areas around the Mall such as sidewalks, curbs, plantings and landscaping, street furniture and other streetscape improvements, lighting, public art, enhanced hardscaping, transit improvements and improved safety features.

These improvements will strengthen linkages between the neighborhoods and will provide attractive, pedestrian-friendly environments around the Mall that will encourage businesses to locate and remain in Downtown. The Neighborhood Design Guidelines will also promote the Mall as a center of social activity and economy for Howard County.

BUILDING HEIGHT

Maximum 7 stories not to exceed 100 feet, refer to Maximum Building Height Plan

FRONTAGE COVERAGE

No requirements in this neighborhood.

BUILD-TO-LINE

No requirements in this neighborhood.

BUILDING SEPARATIONS/SIDE SETBACKS

The separation between buildings will vary, but should be sufficient to allow for pedestrian or vehicular access, where appropriate. A separation of 30 to 40 feet should be provided if an Alley or Driveway is located between buildings

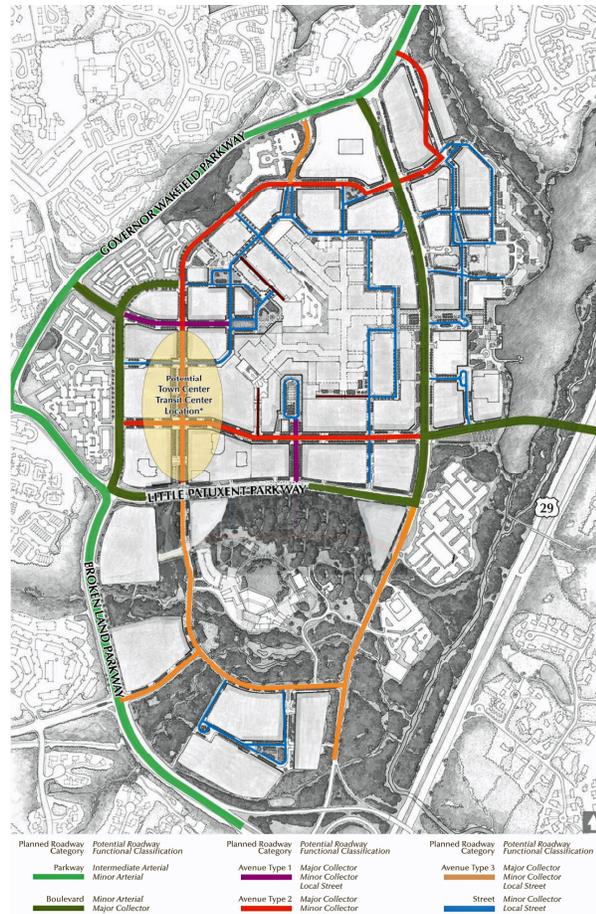
STREET FRAMEWORK DIAGRAM

The Street Framework Diagram depicts a network of existing and potential new streets designed to accommodate and disperse traffic, yet encourage pedestrian and balance vehicular use. The Primary Pedestrian Street Diagram included in the Pedestrian and Bicycle Guidelines identifies those streets that are expected to have areas of retail concentrated along their frontage. The retail concentrations along the Primary Pedestrian Streets often extend from or create strong links to the Mall or to the existing restaurant and entertainment area at The Lakefront.

The Street Framework Diagram indicates suggested street types based on their distinctive character, which may be defined by the number of potential lanes and the presence of medians or other special treatment. The Street Plans and Sections, which are keyed to the Street Framework Diagram, provide illustrative sections and plan details.

The guidelines documented in this chapter are important in order to achieve the distinctive pedestrian-friendly network of streets vital to a walkable new community.

The diagrams, plans and street sections on the following pages and in Appendix A1 are conceptual in nature and are intended to provide guidance for the preparation of Neighborhood Design Guidelines. The lane width, sidewalk width, bike and travel lane configuration, number of lanes, stormwater management, landscaping and other sustainability elements, lighting and other details to be provided in connection with a particular street type and location will be determined in connection with the Neighborhood Design Guidelines. Except where physical constraints, adequate public facilities requirements, or other design or operational factors suggest a different design solution, it is intended that the street sections and details approved as a part of the Neighborhood Design Guidelines will be incorporated into the applicable Neighborhood Concept Plan, final development plans and site development plans.



*See section 4.2 of the General Plan Amendment for full discussion of potential Transit Center location.

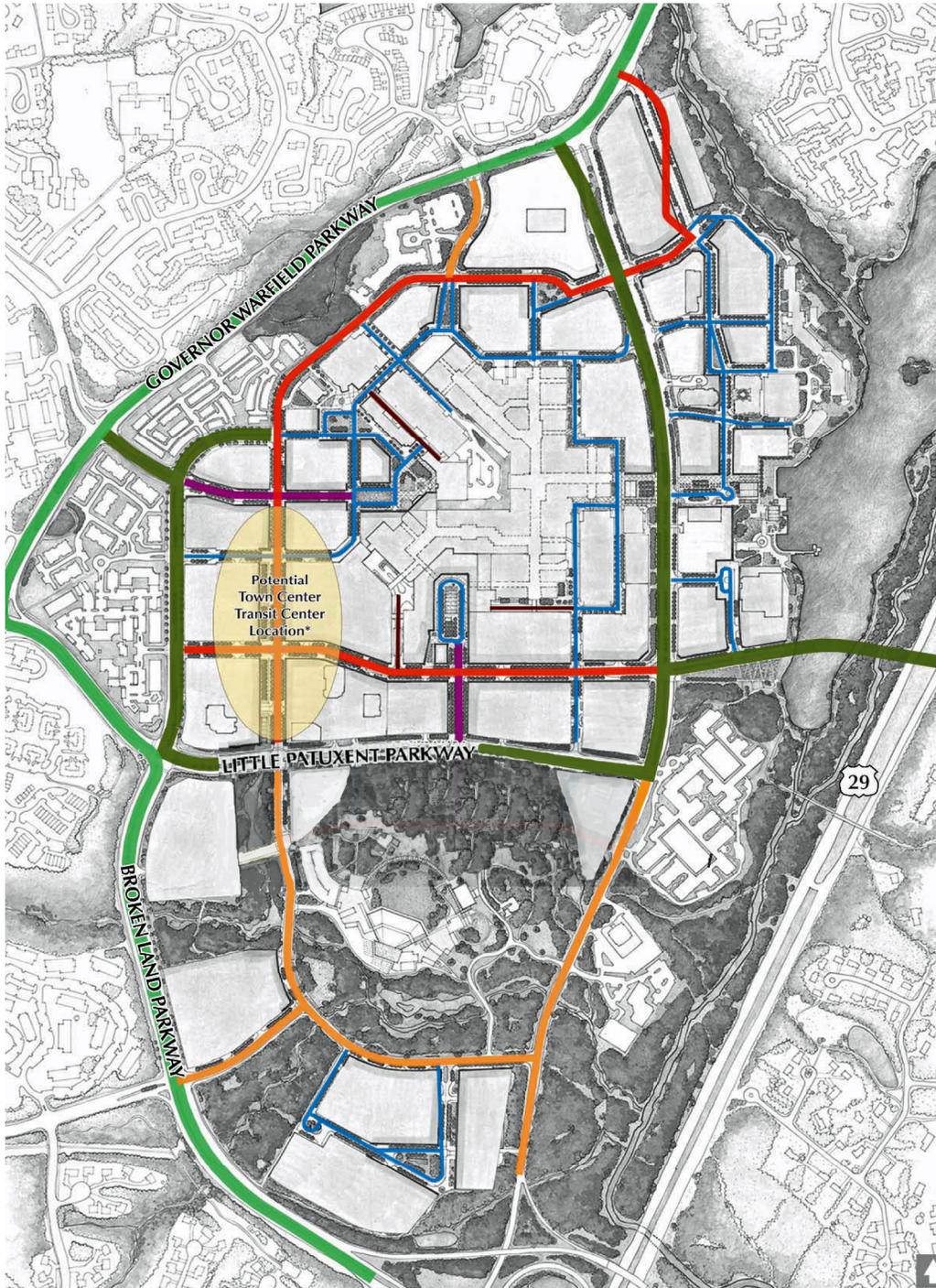
Illustrative Street Framework Diagram

The following typical street standards have been incorporated into the Design Guidelines Appendix A1, although some variation should be anticipated in Neighborhood Concept plans to address certain variable situations.

- Through Travel Lane Width adjacent to curb: 12'
- Through Travel Lane Width adjacent to parking lane : 12'
- Through Travel Lane Width adjacent to bike lane : 11'
- Left Turning Lane Width: 11'
- Right Turning Lane Width: 12'
- Multiuse Pathway Width : 8' minimum
- On-street parallel parking space dimensions: 8'
- On-street bike lane width between outside lane and parallel parking or curb: 5'-0"

It should also be anticipated that incorporating sustainability elements into any street section will require a location-specific determination during the site development plan review process.

STREET FRAMEWORK DIAGRAM



Planned Roadway Category	Potential Roadway Functional Classification	Planned Roadway Category	Potential Roadway Functional Classification	Planned Roadway Category	Potential Roadway Functional Classification
Parkway	Intermediate Arterial Minor Arterial	Avenue Type 1	Major Collector Minor Collector Local Street	Avenue Type 3	Major Collector Minor Collector Local Street
Boulevard	Minor Arterial Major Collector	Avenue Type 2	Major Collector Minor Collector Local Street	Street	Minor Collector Local Street

*See section 4.2 of the General Plan Amendment for full discussion of potential Transit Center location.

CROSSWALKS

- A. Crosswalks should be provided at all intersections where sidewalks traverse vehicular lanes.
- B. Crosswalks of a different paving material, texture, or color from the street paving material are encouraged in areas of retail concentration.
- C. Paving materials and textures should be chosen for ease of pedestrian movement and maintenance. Paving materials in the public rights-of-way shall be approved by the County. Crosswalks should be similar within Downtown Columbia, although variation may be allowed among neighborhoods. Variations may also be allowed among different types of streets. Paving materials and installations methods should take accessibility needs into consideration.

SIDEWALKS

A. The intent of the Plan is to build a system of pedestrian connections that will provide continuity throughout Downtown Columbia. This network will be constructed in phases with new development. Streets shall have sidewalks along both sides throughout the downtown unless unusual conditions (for example, connections to regional highway or adjacent multi-use pathways are provided) cause the County to waive sidewalk requirements or to approve design solutions that otherwise meet the intent of the regulations or provide a better solution for pedestrian access. Sidewalks should be designed consistently along both sides of the entire length of a street.

B. Where retail, storefronts, and building frontages with building entrances and multiple doors align along a street, various sidewalk widths may be appropriate based on the use of the sidewalk and the adjacent building.

C. Other than alleys, the sidewalk width, including tree pits, planting strips, storm water management features, should be not less than 10 feet from the face of the curb to the face of the building. In areas where retail uses are concentrated and heavy pedestrian use is expected, the sidewalk width should be 15 feet from the curb to the building. Trees should be planted in tree pits. The recommended layout includes a 6 foot zone from the face of the curb for trees, signs and space for door opening for parked cars; a typical 8 foot clear zone for pedestrians; plus a minimum 1 foot space along the building façade.

If a wider pedestrian passage is desired or needed to accommodate outdoor dining, arcades, kiosks or vendors, landscaped areas, rain-water treatment practices, or other uses, the setback to the first floor of the building may be increased up to 25 feet or more from the face of the curb. This setback area can include the sidewalk, landscaping and special areas, as appropriate. As provided for in the Design Guidelines, deeper setbacks may be approved if Amenity Spaces are provided between the curb and the building.

D. Where outdoor dining occurs along sidewalks, there shall be a minimum of 6' clear walking zone for pedestrians. Outdoor dining (typically defined by a railing or planters) may be located at the building face or along the curb between trees and planting zones.



Sidewalks should provide sufficient width to accommodate different functional zones



In areas of retail/restaurant use, sidewalk width should be 15 feet or wider



Example of crosswalk paving material



The use of streetscape materials that support the Sustainability Framework are highly encouraged

GUIDING PRINCIPLES

The Amenity Spaces within Downtown Columbia are an integral component of the overall Plan. From Columbia's inception, Downtown has been envisioned as a setting of natural beauty, with Lake Kittamaqundi and Symphony Woods Park as major attractions within an extensive Amenity Space network that serves and connects to all of Columbia. New components of the Amenity Space system will create public gathering spaces; provide ideal locations for public art, seating, fountains, and planting; preserve and enhance existing streams, wet-lands, and woodlands; offer locations for passive and active recreation; and contribute to the overall character and success of the downtown.

The new Amenity Spaces should be designed as a system of connected places. Variations in Amenity Space type, size and design should occur from neighborhood to neighborhood. Amenity Spaces will include parks, greens and plazas, as well as paths and promenades, and preserved natural areas.

The greens and plazas are located in the more urbanized areas, where spontaneous activity is generated by people entering and exiting buildings, residences and shops, and where restaurants are encouraged to have outdoor dining. These spaces may also host planned activities. Paths and promenades are designed primarily to allow movement from one destination to another, although in some instances the promenades may be designed to accommodate public gatherings.

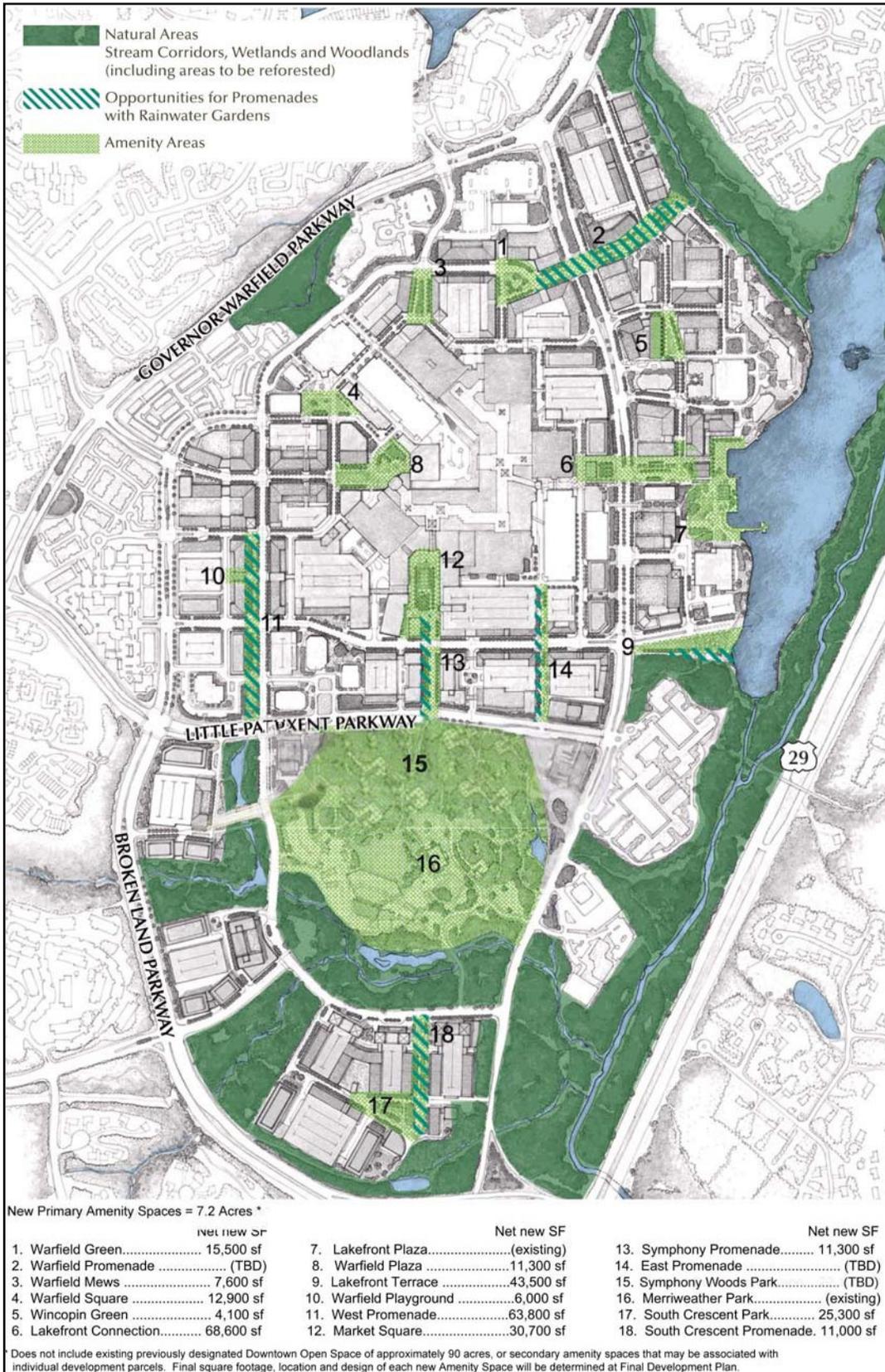
Merriweather and Symphony Woods Park along with the area surrounding Lake Kittamaqundi serve as downtown's major amenity zones. These two important destinations should continue to offer a variety of active and passive recreation opportunities and remain suitable as a setting for major events.

The Amenity Space Design Guidelines include general provisions that provide guidance for all components of the Amenity Space system. The Amenity Space Framework Diagram shows recommended locations for various types of Amenity Spaces suitable for Downtown Columbia. The Amenity Space Types describes the components of the Amenity Space system and provides illustrative examples of how these spaces may be designed.

The Site Development Plans will show the final location, program of use and the appropriate design expression for each Amenity Space element. The Guidelines primarily focus on public outdoor spaces. These spaces, however, are not the only opportunities for recreation and community gathering. The pedestrian-oriented streets create a network of sidewalks that are part of the public realm and offer social and recreational opportunities, as well as functional connections among downtown destinations.

The primary purpose of the Amenity Space Guidelines is to guide the character of Amenity Spaces that will be used by the public. Some Downtown Columbia residential developments may offer private recreation facilities, both indoor and outdoor, for their residents. These facilities will supplement the public spaces in serving the needs of those who live in Downtown Columbia. Criteria for these uses (pools, community buildings, exercise rooms, etc.) are not included in these Guidelines as their design and location will be market-driven and, if indoor uses, will be integral to architectural plans.

PRIMARY AMENITY SPACE FRAMEWORK DIAGRAM



AMENITY SPACE DESCRIPTIONS

Warfield Mews (3) is a small linear green space surrounded by a residential and retail neighborhood. The shaded green affords residents and shoppers a place for sitting and strolling, and allows for dog walking.

Warfield Square (4) is an active urban square and gathering space related to retail, restaurants and cinema. The Square is a meeting place and setting for sculpture, a water feature, and programmed activities that may extend into the evening.

Warfield Plaza (8) incorporates the existing plaza at the entry to the Mall, expanding it with additional green space to create a neighborhood focal point. Water and sculpture should be used to mark this location where streets and urban spaces connect to the Mall entry. The Plaza is at a crossroads of pedestrian circulation, helping make it an active urban place that is used as a gathering space into the evenings, for programmed and impromptu activities. The expanded space includes a large green space framed by trees that gives the Plaza added flexibility for programming events and activities.

Warfield Playground (10) is a small neighborhood children's park that provides a safe and secure area for young children to enjoy outdoor play. Soft surfaces along with planted areas characterize the space. Playground amenities include shaded areas with benches for adult supervision and a drinking fountain.

West Pedestrian Promenade (11) is a primary pedestrian street with a wide sidewalk along the retail (west) side of the street that connects Warfield to The Crescent. The wide sidewalk, shaded by a double row of trees, provides programmable space in Warfield for exhibits and events such as art fairs and festivals. Rainwater planters in select tree planting locations provide an opportunity to extend the natural area and drainage system south of Little Patuxent Parkway. Neighborhood Design Guidelines should study the best approach to inclusion of promenade tree rows or other green promenade features to allow for this design intent.

Market Square (12) is a multifunctional programmed urban plaza that changes with the seasons and with events staged in the space. A structural frame overhead is always visible, especially in summer as an interactive fountain with water falling onto the plaza. On other occasions, the frame supports fabric overhead to shade a market, fair, or concert events. It also shelters an ice skating pond in winter. A pavilion in the plaza serves snacks and beverages, as well as managing the ice pond in winter. Outdoor seating at tables and chairs is under the grove of trees in the plaza. Rainwater storage and treatment systems will be incorporated into the design of irrigation for plantings and water feature use.

Symphony Promenade (13) is a primary pedestrian street connecting Market Plaza to Merriweather and Symphony Woods Park. The street is framed by retail uses at the ground level with office and hotel space above. The wide sidewalk on the west side, shaded by a double row of trees, allows for a series of rainwater planters that extend to the natural area and drainage system south of Little Patuxent Parkway. The southern end of Symphony Promenade at Merriweather and Symphony Woods Park could be marked by a land- mark sculptural piece, a vertical element visible from the mall entry to the north, and prominent in the park.



Merriweather and Symphony Woods Park (15/16) is an extensive and diverse landscape area including Symphony Woods Park, Merriweather and natural areas that are integral to the fabric of Downtown Columbia and connects to the network of natural areas. Mixed-use development in The Crescent overlooks the park. Merriweather and Symphony Woods Park will provide a diverse and interesting range of outdoor spaces within the green, wooded parkland of Symphony Woods Park. The woods include native plantings, and lawn areas under a canopy of enhanced wood-land trees. Limited areas may be more intensely planted as appropriate to the intended function of the location.

The Downtown Plan suggests several improvements and activities for Merriweather and Symphony Woods Park, including:

- A. An enhanced Merriweather Post Pavilion.
- B. Development of Symphony Woods Park as an attractive setting for year-round passive recreation and community events.
- C. Enhanced circulation to include a new pedestrian crosswalk from Symphony Overlook including an extension of Symphony Promenade across Little Patuxent Parkway to Symphony Woods Park. New walkways, visual corridors and park amenities will support visitor enjoyment of passive recreation, festivals, and other events in Symphony Woods Park. Access through Symphony Woods Park will be designed so there is connectivity between Merriweather and Symphony Woods Park.

South Crescent Park (17) is a passive recreation space with pedestrian promenade connection to the wooded south edge of Merriweather and Symphony Woods Park.

South Crescent Promenade (18) is a pedestrian street and visual connection from South Crescent Park to the natural area both to the north and south. The wide street section with generous shaded sidewalk along the east side of the street is intended to incorporate rainwater planters and storm water best management strategies, discharging to natural areas at the north and south ends of this street.

AMENITY SPACE DESCRIPTIONS

Warfield Green (1) is a quiet park and sitting garden within a residential neighborhood, with a connection to the natural area to the northeast. It is predominantly a planted space with paths, benches, pedestrian lighting, trees, and a small lawn used for cultural and social activities.

Warfield Promenade (2) is located on a primary pedestrian street with a wide sidewalk along the retail (south) side of the street, shaded by a double row of trees. Amenities include benches, planters and pedestrian lighting. Rainwater planters in select tree planter locations provide an opportunity to filter and infiltrate stormwater while providing attractive planting along the sidewalk and street edge. . Neighborhood Design Guidelines should study the potential of a promenade with a double row of trees on the south side that exceeds the typical standard of Avenue Type 2

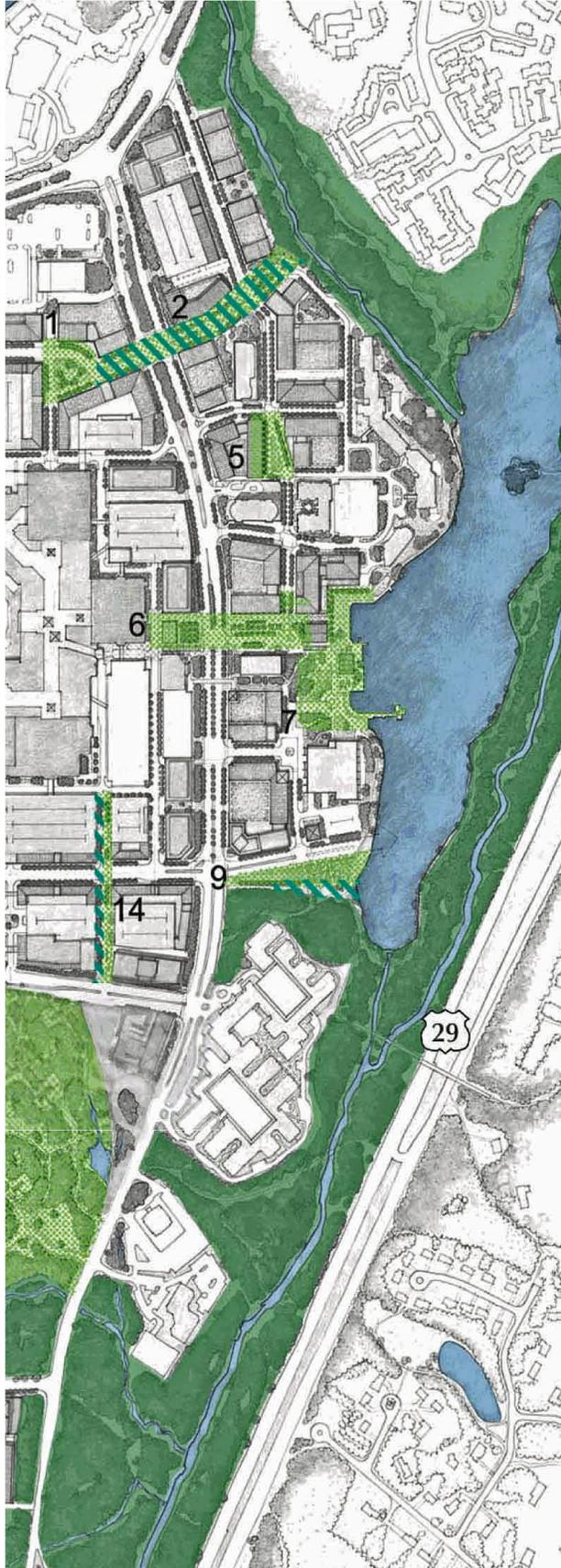
Wincopin Green (5) is a contemplative, passive recreation space that is the focus for the adjacent residential neighborhood. It is predominantly a planted space with paths, benches, pedestrian lighting, trees, and a small lawn used for cultural and social activities. The Green includes an area for children's play as well as and dog walking.

Lakefront Connection (6) is an extension of the Lakefront green space and festival area that provides pedestrian and visual links from the Mall to Lake Kittamaqundi. Traffic calming techniques along Little Patuxent Parkway improve the pedestrian crossing at street level. Grade transitions from the Parkway to the water may be expressed as a series of terraces, steps, ramps and possibly a public elevator. Activities include programmed events, outdoor dining, café, public art and outdoor exhibition space. Opportunities to introduce innovative stormwater management strategies include the incorporation of porous pavement for hard surfaces.

Lakefront Plaza (7) is a culturally significant landscape that dates to the first years of Columbia. Existing sculptural pieces such as The People Tree, The Hug, and others along with the fountain and terraces are character defining elements of Columbia's Lakefront. The rehabilitation and design of the Lakefront Plaza will create a more usable Amenity Space including improved pedestrian mobility and a better setting to support special public events, performances and festivals.

Lakefront Terrace (9) is a major visual connection from the Symphony Overlook to Lake Kittamaqundi as well as pedestrian access from Little Patuxent Parkway to the water's edge. An open lawn area on the east side of the Parkway will be used as gathering space for informal recreation, picnicking, and for programmed exhibits. A series of ramps passing through wildflower gardens traverse the slope to the water. A stepped Bioswale drainage system along the south side of the Terrace is composed of native plant materials that incorporate stormwater best management practices. Ecological interpretive displays describe the Bioswale, wildflower, native planting, and water's edge planting ecosystems.

East Pedestrian Promenade (14) is a primary pedestrian street connecting from the Mall to Symphony Woods Park. Planting system along the street and sidewalk edges could incorporate the same landscape character and stormwater management benefits as other Promenades. The filtered runoff would discharge to the existing drainage bioswale on the east side of the park.



Illustrative image overlooking the Lakefront area



The connection that descends from the Mall to the Lakefront

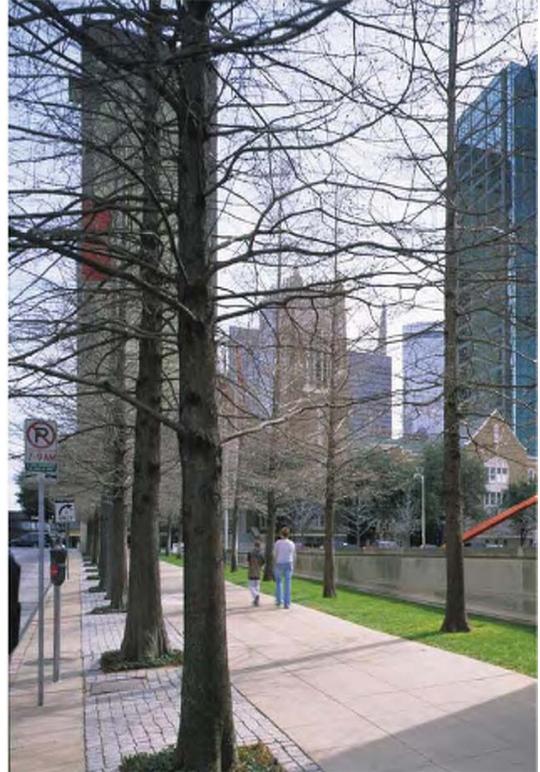
PROMENADES

A Promenade is an extended walkway, more prominent and wider than a sidewalk that accommodates significant pedestrian movement and provides a formal connection between destinations to reinforce key pedestrian corridors.

A promenade typically has a double row of trees to shade the path and it may be used as a setting for planned events such as festivals. It is typically composed of mostly hardscape (walkways, steps, ramps, and walls), is often lined with trees and other planting, includes lighting and benches, and may include public art.

A pedestrian promenade should link the east entrance of the Mall to the Lakefront, and the existing promenade at the Lake should be enhanced and extended to the north and south.

A promenade should link the south entrance of the Mall to Merriweather and Symphony Woods Park. Promenades present opportunities to capture and direct rainwater to treatment features such as rainwater planters that include street tree plantings.



Street Character: Sidewalkzone along boulevard or avenue with a promenade of a double row of trees shading the walkway



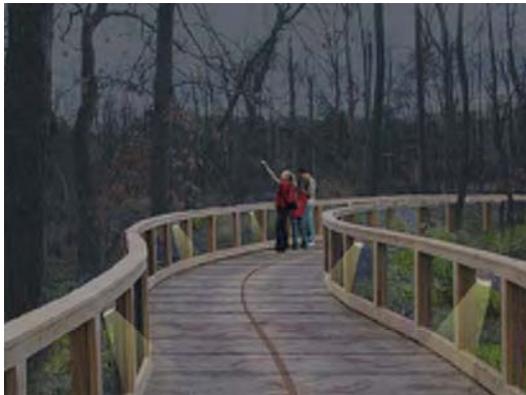
Promenade with a double row of shade trees defines a major pedestrian connection



Little Patuxent Parkway bike, pedestrian path



Lake edge bike/ pedestrian path



Boardwalk through wetlands



Twin Rivers Road bike, pedestrian path

PATHS

Pathways for pedestrians, cyclists and skaters provide connections among important destinations. Paths are typically fitted to the natural character of the site or to the urban context, and are often constructed with such materials as concrete, stone dust, asphalt, mulch and board-walks (for spanning waterways and environmentally sensitive areas). Paths should be designed for their intended use and intensity of use, including consideration for safety. If appropriate, they may include lighting, benches and drinking fountains.

The Amenity Space Plan depicts paths throughout Merriweather and Symphony Woods Park that provide better access to Merriweather Post Pavilion and connect the park to The Crescent, Lake Kittamaqundi and adjacent neighborhoods. Other paths connect Downtown Columbia to adjacent neighborhoods, to Wilde Lake and its Village Center, to Howard Community College, to Oakland Mills Village Center and Blandair Park.

MULTI-USE PATHWAYS

Multi-use pathways will strive to be separated from traffic and roadways by locating them within existing recreational pathway alignments through Columbia's open space, and on existing County road Rights-of-Way adjacent to a roadway.

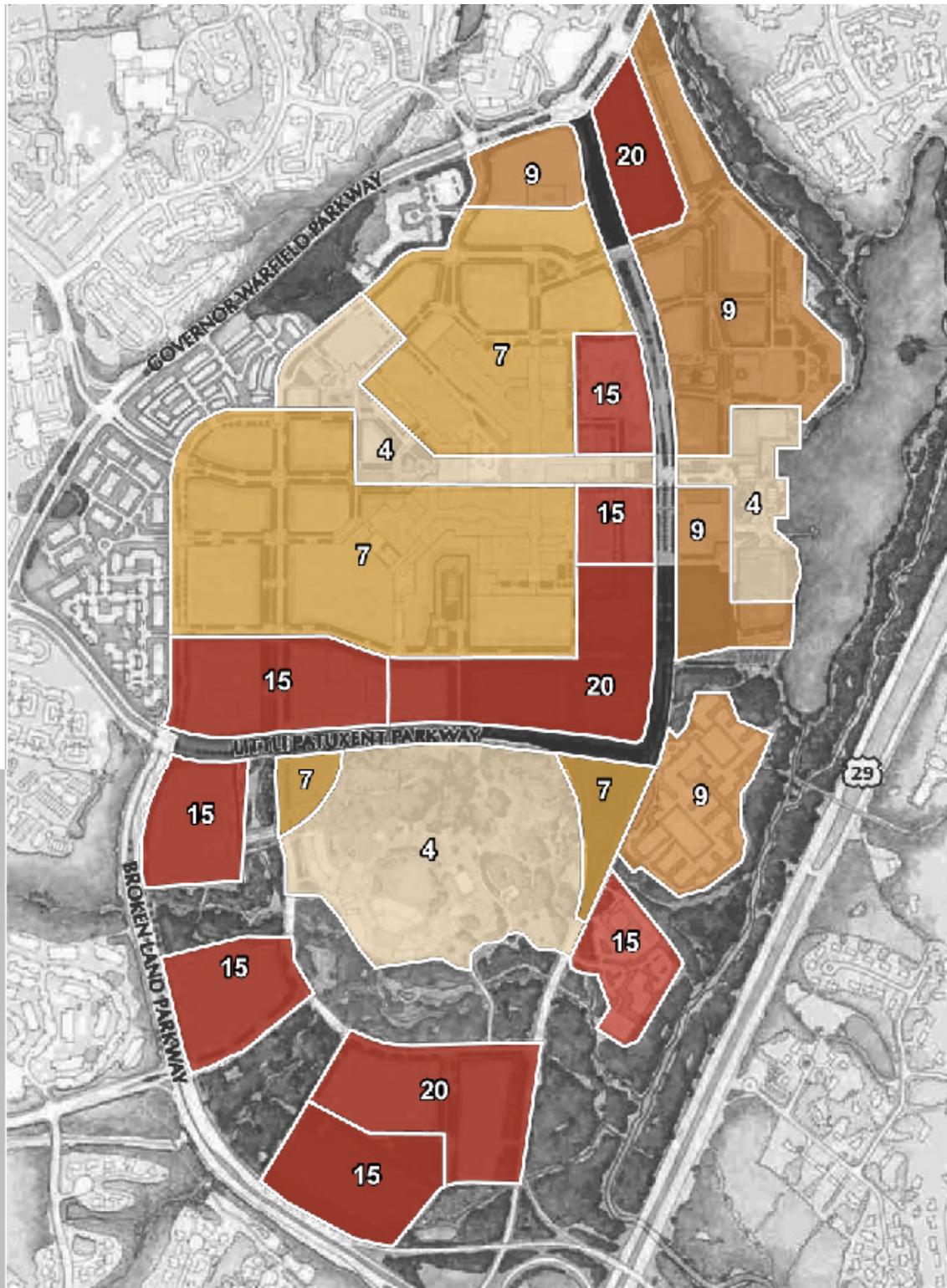
The standard width of these paths will be 8 feet minimum with a 2 foot clear distance on both sides for safe operation. Where they are adjacent to roadways, there should be a minimum five foot or greater planting buffer, bio-swale or other physical barrier separating the path and edge of roadway.

Multi-use paths which are intended for two-way use by commuters and recreationists will be designed and built to a standard that accommodates the various users with minimal conflicts. Decorative light poles scaled appropriately for pedestrian usage will be placed along the path alignments to heighten visibility and safety of users. Shoulders will be widened at regular intervals for placement of benches and trash cans for user convenience. Enhanced landscaping and clearing of undergrowth on existing pathways will increase visibility.

BOARDWALKS

Boardwalks with railings should be provided within environmentally sensitive areas, if appropriate. Boardwalks are intended to allow pedestrian access to nature areas located within sensitive ecosystems. All design materials and construction operations for boardwalks shall be in accordance with regulations regarding environmentally protected areas.

MAXIMUM BUILDING HEIGHT PLAN



Up to:	And not to exceed:	Up to:	And not to exceed:
 4 Stories	60 feet	 15 Stories	170 feet
 7 Stories	100 feet	 20 Stories	250 feet
 9 Stories	120 feet		

LIVABILITY

1.1 SENSE OF PLACE

SENSE OF PLACE

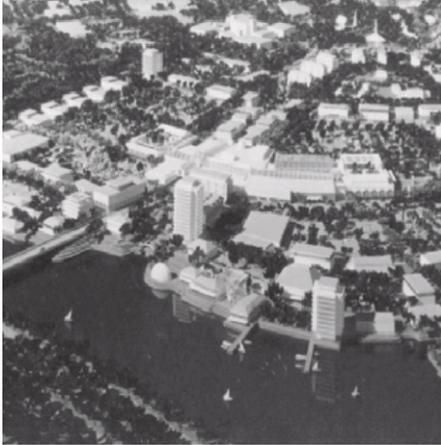
Goal: Preserve and emphasize the distinctive qualities that make Downtown Columbia unique

Target:

- Preserve and restore existing cultural elements and amenity spaces

Strategy:

- Make Lake Kittamaqundi and Symphony Woods Park the primary open space elements of Downtown Columbia by activating pedestrian spaces
- Preserve and restore forest and waterways and native plant communities
- Preserve such art and artifacts as “the People Tree”, “the Bear”, “the Hug”
- Commission a study to preserve and renovate the former Rouse Company Headquarters as a signature building
- Use appropriate 'artisan-quality' fixtures and outdoor furnishings



1.2 HOUSING

DIVERSITY, AFFORDABILITY, AND PROXIMITY

Goal: Create a full spectrum housing program for Downtown Columbia that will establish a flexible model that aspires to make new housing in downtown affordable to individuals earning across all income levels.

Target:

- Establish the Downtown Columbia Community Housing Foundation (“DCCHF”), as detailed in CB 58, to satisfy affordable housing requirements for downtown.

Strategy:

- Establish the DCCHF and fund the program through contributions as outlined in the Downtown Columbia CB 58-2009
- The DCCHF should be notified by the developer or joint venture of land for all residential units offered for initial sale in each new residential or mixed use building in Downtown Columbia
- The DCCHF also should be notified by the developer of all apartment units offered for rental in each new residential or mixed-use building containing rental units
- Use of DCCHF funds will be limited to providing full spectrum, below market housing in Downtown Columbia that may include, but is not limited to, funding new construction; acquiring housing units; preserving existing homes; financing rehabilitation of rental housing; developing senior, family or special needs housing; providing predevelopment, bridge, acquisition and permanent financing; offering eviction prevention and foreclosure assistance



COLUMBIA TOWN CENTER MERRIWEATHER AND CRESCENT ENVIRONMENTAL ENHANCEMENTS STUDY

A natural resources assessment was performed by General Growth Properties on over 5000 linear feet of streams and 120 acres in the Merriweather-Symphony Woods & Crescent neighborhoods of Downtown Columbia. The report describes the findings of the assessment and articulates proposed environmental improvements to streambeds, wetlands, forests and vegetation management. These mitigations and improvements to be implemented by property Owners in these neighborhoods strive to enhance the ecological environment by restoring and maintaining the current Symphony Stream and Little Patuxent River riparian corridors. The environment will be enhanced through corridor management activities such as invasive species management, reforestation, stream bed restoration, wetlands enhancement and creation, and understory plantings.

TABLE 5. SUMMARY OF PROPOSED IMPACTS & ENHANCEMENTS
(all numbers approximate)

	EXISTING	IMPACT	RESTORATION		TOTAL
			CREATION	ENHANCEMENT	
Forest (Acres)	106	41	34	56	90
Wetland (Acres)	5	0.1	2	5	7
Stream (Linear Feet)	5000	945	0	4880	4880
Floodplain (Acres)	40	2.74	2	47	49
Trees (Individuals)	1214	588	13600 ¹	5600 ²	19200

¹Based on reforestation using 400 trees per acre. ²Based on supplementation of existing forest using 100 trees per acre.

This plan was created prior to adoption of CB58-2009, may not reflect the actual roadway network or neighborhood configurations identified in the final legislation.



BICYCLE AND PEDESTRIAN CIRCULATION PLAN

